

Statement of Environmental Effects

Development Application

**2 Highland Cres Earlwood
Canterbury/Bankstown Council**

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Part 1.0
Introduction

This statement of environmental effects is submitted to Canterbury Bankstown Council in support of a development application for 2 Highland Cres, Earlwood.

The DA seeks approval pursuant to Section 80(1) of the Environmental Planning and Assessment Act, 1979 for the following.

- New studio to the existing roof terrace.

Application for the Construction Certificate will be sought separately.

This planning report has been prepared by Brad Inwood Architects based on the plans and information supplied as part of this application. The application has been prepared on behalf of the landowners.

This report should be read in conjunction with the supporting information and Architectural drawings included as appendices to the report.

This report should be read in conjunction with the supporting information submitted.

The report describes the site, and its environs, the proposed development and includes an assessment of the proposal in terms of the matters for consideration as listed under section 79C(1) of the Act.

Part 2.0

Site Description, Landform and Topography

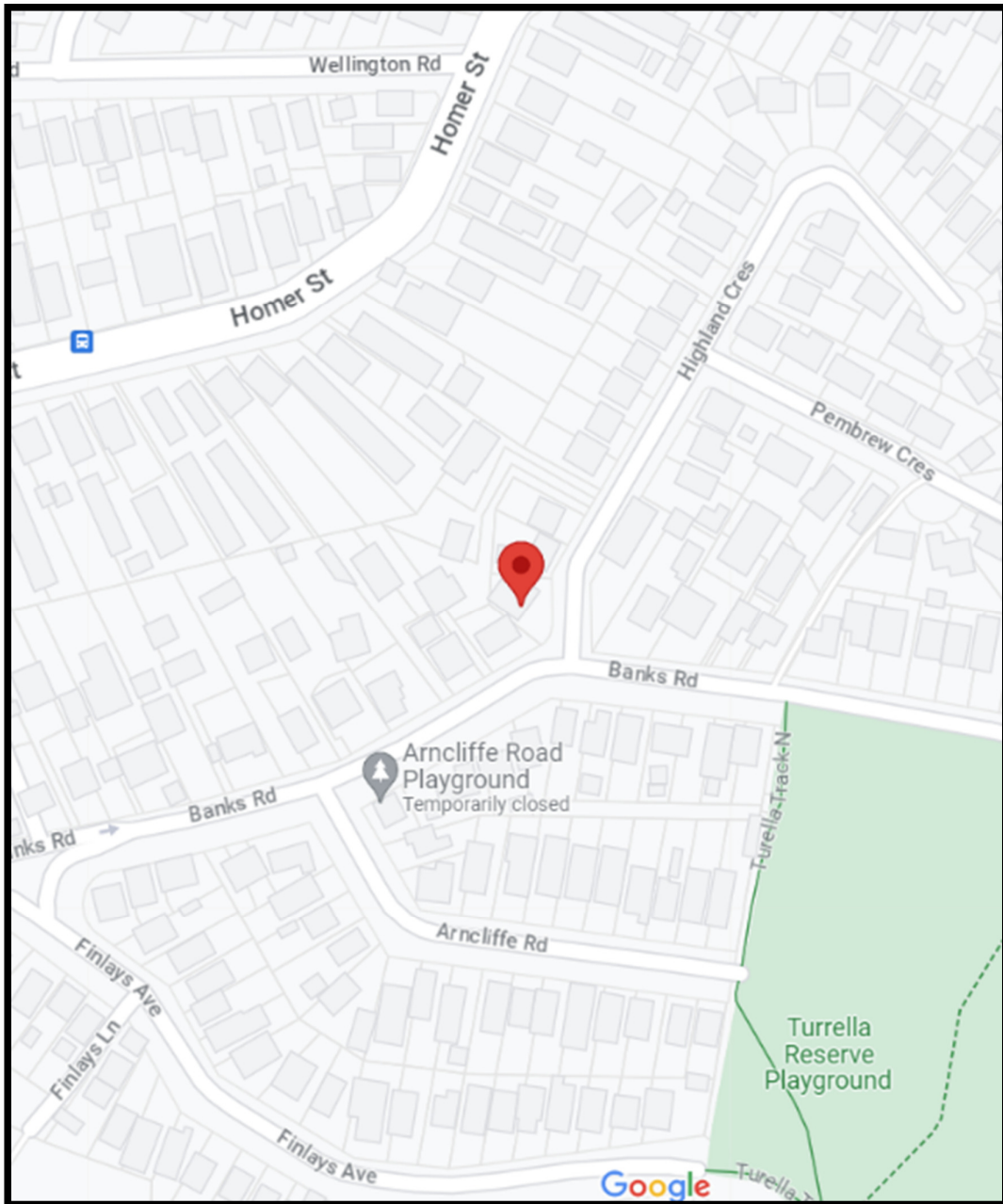
The site is located on the northern side of Trevenar Street, within the Council area of Canterbury Bankstown.

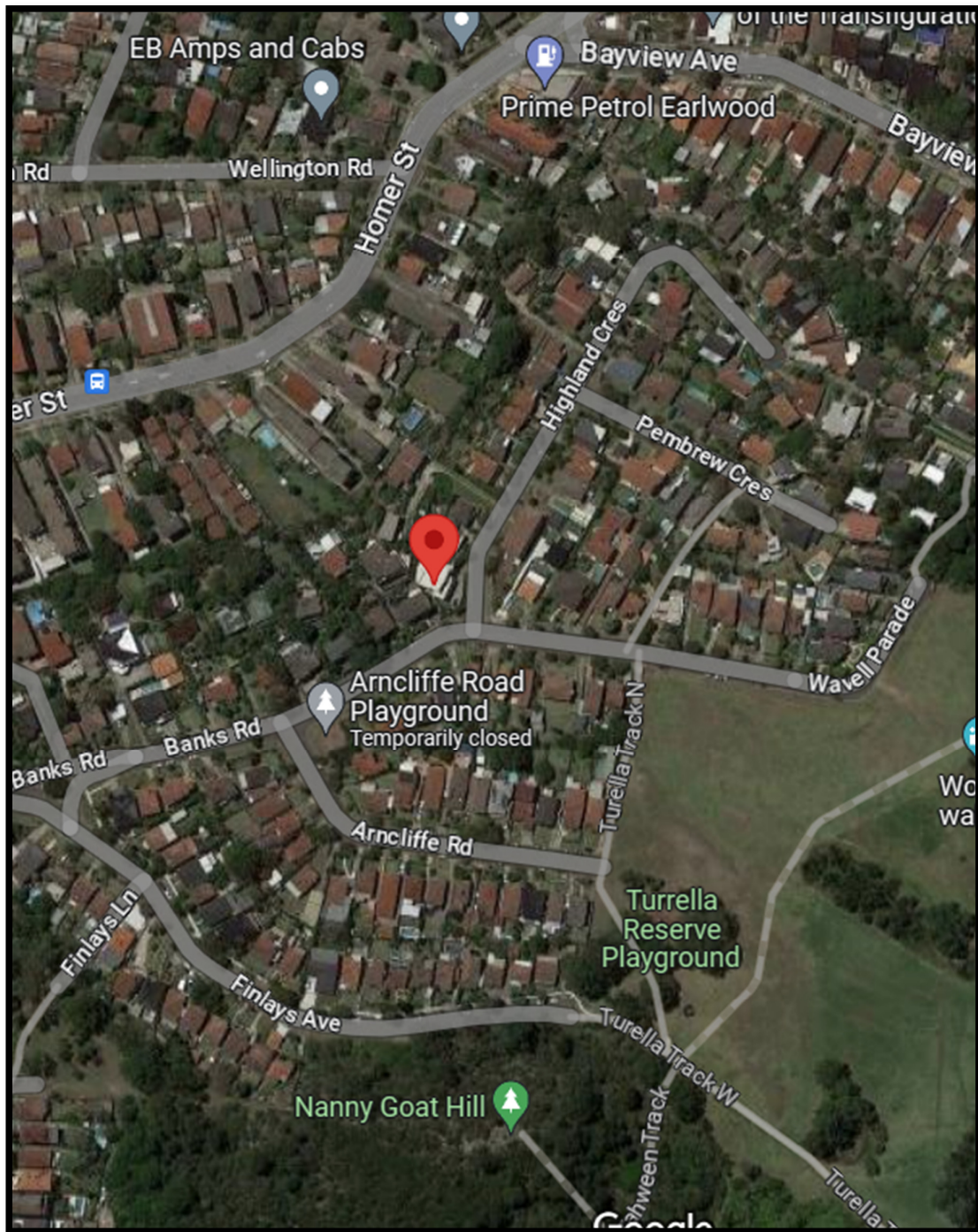
The site is technically known as Lot 3 in DP 206043, has an area of 534.1m² and is - irregularly proportioned.

There is no rear lane access.

The site has a fall from the front of the rear of the allotment of approximately 13,000mm. There is negligible cross fall.

The site is not affected from flooding, bushfires or any other perceivable know risk.





Part 3.0
Existing development

Presently on the site is an existing three storey detached bungalow with face brick walling and a concrete flat roof. The windows are powder coated aluminium windows. The building was constructed around the 1970's.

There is tiled roof top terrace, accessible from the external

There is a garage to the lower level of the dwelling.

All previous activities undertaken on the site would be typical for a residential development in the area.

It is believed that the site is not affected from contamination and no remediation to the site is required.

The existing zone use of the site is for residential purposes.



Front of the dwelling



Southern side of the dwelling

Part 4.0
Surrounding Development

Existing development in the vicinity is characterised by residential development ranging from double to three storey dwellings.



Highland Street

To the south of the site is 21 Banks Rd, which is a three-storey brick dwelling with a tiled roof.



21 Banks Rd, Earlwood

To the north the site is 2 Highland Cres, which is a two-storey brick dwelling with a tiled roof.



4 Highland Cres, Earlwood

To the rear/west of the site is 8 Highland Cres, which is a three-storey brick dwelling with a tiled roof.



8 Highland Cres, Earlwood

Part 5.0

Relevant Instruments and Planning Controls

The following planning instruments are the main controls relevant to the proposed development:

- **State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004**

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 (BASIX SEPP) aims to encourage sustainable residential development. The BASIX Scheme established under the Regulation to the Act requires an application for certain kinds of residential development to be accompanied by a list of commitments as to how the development will be carried out. The BASIX SEPP overrides any provision of another environmental planning instrument that would otherwise modify any sustainability commitments required for residential development under the BASIX Scheme.

- **Canterbury-Bankstown Council Local Environmental Plan 2023**

Under Canterbury-Bankstown Local Environmental Plan 2023, the site is zoned Residential, where development for the purpose of dwellings is permissible with consent and is within a Conservation area as well as a heritage listed items.

The LEP contains objectives, heritage provisions and development standards, which will be addressed in turn in this Statement.

- **Canterbury-Bankstown Council Development Control Plan 2023**

The Canterbury-Bankstown Development Control Plan 2023 contains development standards for residential development.

Canterbury-Bankstown Development Control Plan (the DCP) supplements the LEP by providing detailed guidelines and controls for new development for each suburb and precinct and under a number of design elements.

Part 6.0

Site Suitability

Having regard to the characteristics of the site and its location, the proposed residential development is considered appropriate in that:

- The site is zoned to accommodate the present and proposed use.
- The size and dimensions of the site are appropriate for the accommodation of the proposal.
- The proposal substantially complies with the regulations and codes of Canterbury-Bankstown Councils' DCP, and the type and scale of the surrounding development.
- The proposed development will not result in any adverse environmental impacts to adjoining properties and the surrounding public domain, particularly in relation to overshadowing, views, privacy, overlooking and access to daylight and natural ventilation.
- It will have positive social and economic benefits to the area and local vicinity.
- The site is fully serviced to accommodate the proposed works.
- The proposal will not result in any adverse traffic impacts.
- The scale, height and form of the development are consistent with the adjoining properties and streetscape.
- The proposed use, density and scale of the development are appropriate given the sites location and the context of the surrounding environment.
- The works to the front elevation are harmonious with the existing historical streetscape qualities along Highland Cress.

Furthermore, as detailed throughout this statement of environmental effects, the proposed development will not result in any adverse environmental impacts, and it is therefore considered that the site is suitable for the proposed development.

Part 7.0**Assessment Under the Canterbury-Bankstown Local Environmental Plan 2023**

The proposed works have been assessed under the Canterbury-Bankstown DCP 2023.

Zoning

The land is zoned R2 low density residential, and the proposed works are permissible with consent.

Floor Space Ratio

There is no FSR control for the site in the Canterbury LEP 2012.

Height

The proposed works are permissible up to 9.5m as per the Canterbury-Bankstown LEP 2023.

The proposed works are in excess of the height controls. A clause 4.6 variation has been submitted as part of this application.

Heritage

The house is not in a heritage area

The house is located in a heritage conservation area

Terrestrial Biodiversity

The work is not in a terrestrial biodiversity area.

Flooding

The work is not in a flood zone.

Acid Sulfate

The works are located in a low risk acid sulphate zone.

Land Acquisition

The site is not located in a land acquisition area.

Lot Size

There is no change to the size of the allotment from the proposed works.

Land Reservation Acquisition

The site is not located in a land reservation acquisition zone.

Part 8.0**Assessment Under the Canterbury-Bankstown Council Development Control Plan 2023 – Residential Development****Streetscape**

The proposed works result in negligible impact to the streetscape . Due to the new studio being setback from the front and sides of the allotment, the proposed new works would not be visible along Highland Cres.

The proposed works satisfy the development control.

Setbacks

There is no change to the existing building setback from proposed studio, with the proposed studio set to the centre of the existing building.

The proposed works satisfy the development control.

Landscaping and Open Space

The proposed works do not result in a change to the landscaping area of the allotment.

There is no change to the deep soil planting of the site.

The proposed works satisfy the development control.

Materials, Colour Schemes and Details

The new works are to be constructed to harmonise with the surrounding streetscape, with fibre cement walling and metal roofing.

The proposed works satisfy the development control.

Site Coverage

The proposed works do not result in a change to the site coverage of the allotment.

The proposed works satisfy the development control.

Stormwater, Detention and Sediment Control

A stormwater plan has been submitted showing the proposed drainage to the site.
Refer to the stormwater concept plan.

The proposed works satisfy the development control.

Shadowing

Due to the existing conditions of the site and the proposed studio being setback from the existing external walling of the dwelling, the extent of new shadows cast are negligible.

Most new shadows fall on the existing roof terrace, with negligible shadows cast to the adjoining allotments.

The proposed works satisfy the development control.

Energy and Water Efficiency

The following energy and water efficiency measures will be installed in the proposed works.

- R3 insulation to the ceilings and R2.5 insulation to the walling
- All work complies with the BCA requirements for natural light and ventilation

The proposed works satisfy the development control.

Sediment Controls

Minor sediment controls will need to be implemented during construction.

Refer to the erosion and sedimentation control plan.

The proposed works satisfy the development control.

Site Contamination

The site has been used for residential purposes for at least the last 60 years. It is assumed that there are no site contamination issues on the allotment.

Therefore, during construction only minor safety issues will need to be undertaken.

The proposed works satisfy the development control.

Visual Privacy

The proposed works result in negligible loss of privacy to the surrounding dwellings.

The area of the proposed studio is already an open terrace and accessible to the current occupants.

The proposed works satisfy the development control.

View Sharing

There are no views lost from the proposed works.

The dwelling to the west at 8 Highland Cres has a lowest level floor level of appropriately RL 30.5, which is 600mm higher than the highest point of the proposed new studio roof.

The proposed works satisfy the development control.

Waste and Recycling

The existing waste and recycling program through the use of recycling, organic and general waste will continue.

Garbage bins are able to be stored in either the garage or to the side of all the dwellings, and the occupier of each unit will be able to bring their own bins out on each garbage night.

Topography

There is no topographical change from the proposed works.

Construction

A demolition and Construction Management plan is attached which sets out the following.

- Site safety
- Access to the site
- Storage of materials on the site
- Construction measures
- Demolition and removal of waste
- Excavation
- Asbestos removal
- Lead removal
- Pollution control measures
- Erosion and sedimentation control measures
- Permit requirements
- Landscape management plan

Waste Management Plan

A waste management plan has also been submitted which includes the following

- The disposal of existing materials and waste on site.
- The disposal of waste generated during construction.
- The continual waste production through use of the dwelling.

Utilities

The utility services currently available to the site include electricity, telecommunications, sewer and stormwater. It is anticipated that the proposed works will not have any adverse impact on the provision of the available services.

Part 9.0
Conclusion

In respect to the above, and with consideration of the established character of the streetscape and other recently constructed works in the nearby vicinity of 2 Highland Crescent, Earlwood, the proposed studio is considered be compatible with the existing streetscape character and surrounding context.

The studio will not result in any adverse effects to the nearby vicinity, the adjoining dwellings or the streetscape.

The studio will generally provide an improvement the aesthetic quality to the area and is compatible with the desired future character of the streetscape as determined by Canterbury-Bankstown Council.

We have no hesitation in recommending that Council should consider giving consent to this development subject to appropriate conditions.

Yours truly,



Brad Inwood

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